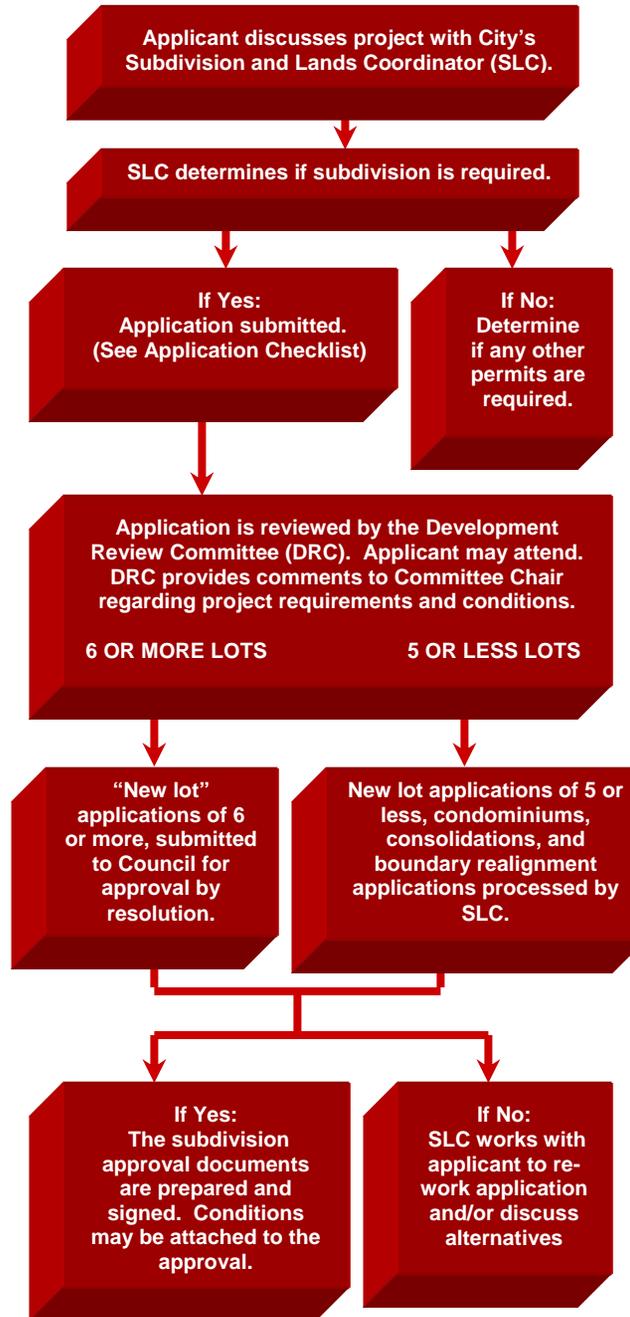


# Subdivision Approval Process



The City of Whitehorse approves the subdivision and consolidation of land, and the creation of condominiums on all land within the City's municipal boundaries.

## Subdivision Approval Process



## Application Timeline

Subdivision approval takes approximately 6 to 8 weeks for "new lot" subdivisions of 6 or more lots (Council decision).

Subdivision approval takes approximately 3 to 4 weeks for new lot subdivisions of 5 or less lots, and for condominiumizations, consolidations, and boundary realignments (Administrative decision).

The approval is valid for a period of 12 months. The approval will lapse if the preliminary plan of survey is not submitted to the Land Titles Office or the City within this time.

The approving authority may renew the approval of an existing application for one period of an additional 12 months.

## Application Fee

Application Fees vary and are non-refundable.

### **Boundary Alignment:**

\$50.00 per boundary

### **Subdivision:**

Minimum: \$250.00

Maximum: \$1,000.00

Between the minimum and maximum, \$100.00 per lot created (e.g., 3 lots proposed, \$300.00)

### **Subdivision by way of Consolidation:**

\$50.00

### **Subdivision by way of Condominium:**

\$50.00 per unit being created to a maximum of \$500.00

## Information in this Guide

- Subdivision Approval Process
- Application Timeline
- Application Fee
- Application Contents Checklist
- City Contact Information

## Contact Information



### Planning and Development Services Department

Tel: (867) 668-8346  
Fax: (867) 668-8395

[www.whitehorse.ca](http://www.whitehorse.ca)  
[land@whitehorse.ca](mailto:land@whitehorse.ca)

Mailing Address:

**City of Whitehorse,  
Planning and Development Services  
2121 – 2<sup>nd</sup> Avenue  
Whitehorse, Yukon  
Y1A 1C2**

Office Location:

**4210 – 4<sup>th</sup> Avenue  
2<sup>nd</sup> Floor**

## Application Contents Checklist

A subdivision application is required to contain information stipulated in the Subdivision Control Bylaw 2012-16, which is summarized below.

Applications shall be made in writing using the approved application “Form 1A” and shall be accompanied by:

- A current copy of the **Certificate of Title** for the subject parcel and copies of documents for any registered charges that may limit or restrict the use of the subject lands;
- Three (3) copies of the **Proposed Subdivision Sketch** prepared by a Canada Lands Surveyor at a suitable scale, and indicating:
  - a bold line for the boundaries of the subject parcel(s) and the area(s) thereof;
  - the location, boundaries and dimensions of all proposed lots;
  - the location, width and names of all highways and roads on which the proposed subdivision area abuts;
  - the location of proposed roads within the subdivision area and access connections to existing roads;
  - the location and dimensions of all registered easements or rights-of-way that adjoin or cross the subject lands;
  - the location and dimensions of all buildings on the parcel, if any, and indication of which buildings will remain and those to be removed;
  - all buffer strips as may be required;

## Application Contents Checklist (continued)

- the location and dimension of all lots dedicated for public use, in the case of a subdivision;
- all surface water bodies within the proposed subdivision, consolidation, or condominium;
- a north arrow; and
- the scale of the plan.
- A **Tax Receipt** showing that all current taxes on the land have been paid. Contact the City’s Tax Clerk (668-8608) and note that the request is for a subdivision application (no fee).
- A **Letter of Authorization** to act on the subject land, if the applicant is not the owner.
- The **Application Fee** as prescribed by the Fees and Charges Bylaw.

## Additional Information

All subdivision applications must conform to the development regulations defined by the City’s Zoning Bylaw 2012-20. Applications may also be subject to the requirements of other City bylaws and policies, such as the Residential Development Cost Charges Bylaw 2012-12 and the Public Use Land Dedication requirement specified in the Subdivision Control Bylaw and *Municipal Act*.

Please contact the Subdivision and Lands Coordinator for more information on these requirements.