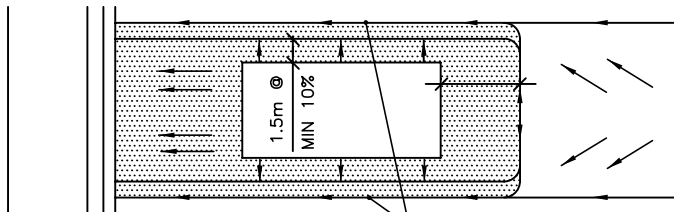
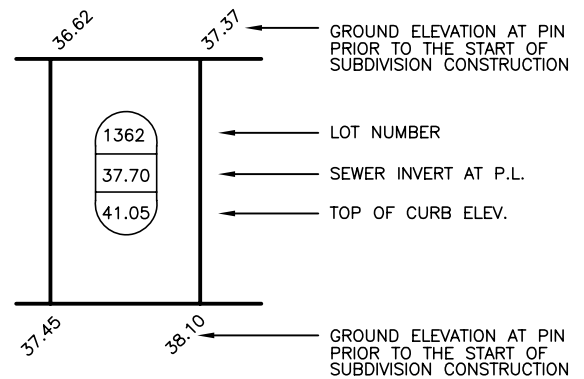


**ELEVATION**



FLows TO BE CARRIED AROUND HOUSE IN DEFINED SWALES

**PLAN**

**CONVENTIONAL AND SPLIT BUNGALOW HOUSE TYPE**

**NOTE:**

1. THE GRADING SHOWN ON THIS DETAIL IS PROVIDED AS A RECOMMENDATION ONLY, WITH THE EXCEPTION OF THE AREA IMMEDIATELY ADJACENT TO THE HOUSE WHICH IS GOVERNED BY THE NATIONAL BUILDING CODE
2. FINISH LANDSCAPE ELEVATION ADJACENT TO HOUSE TO MAINTAIN RECOMMENDED MINIMUM SLOPES.
3. ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE.
4. ALL ROOF LEADERS ARE TO BE DIRECTED TOWARDS THE FRONT OF THE LOT.



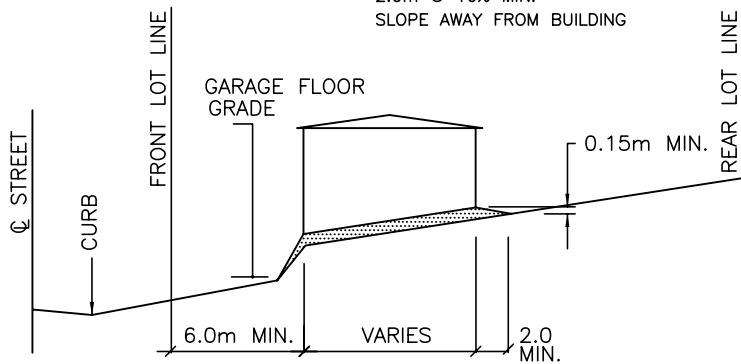
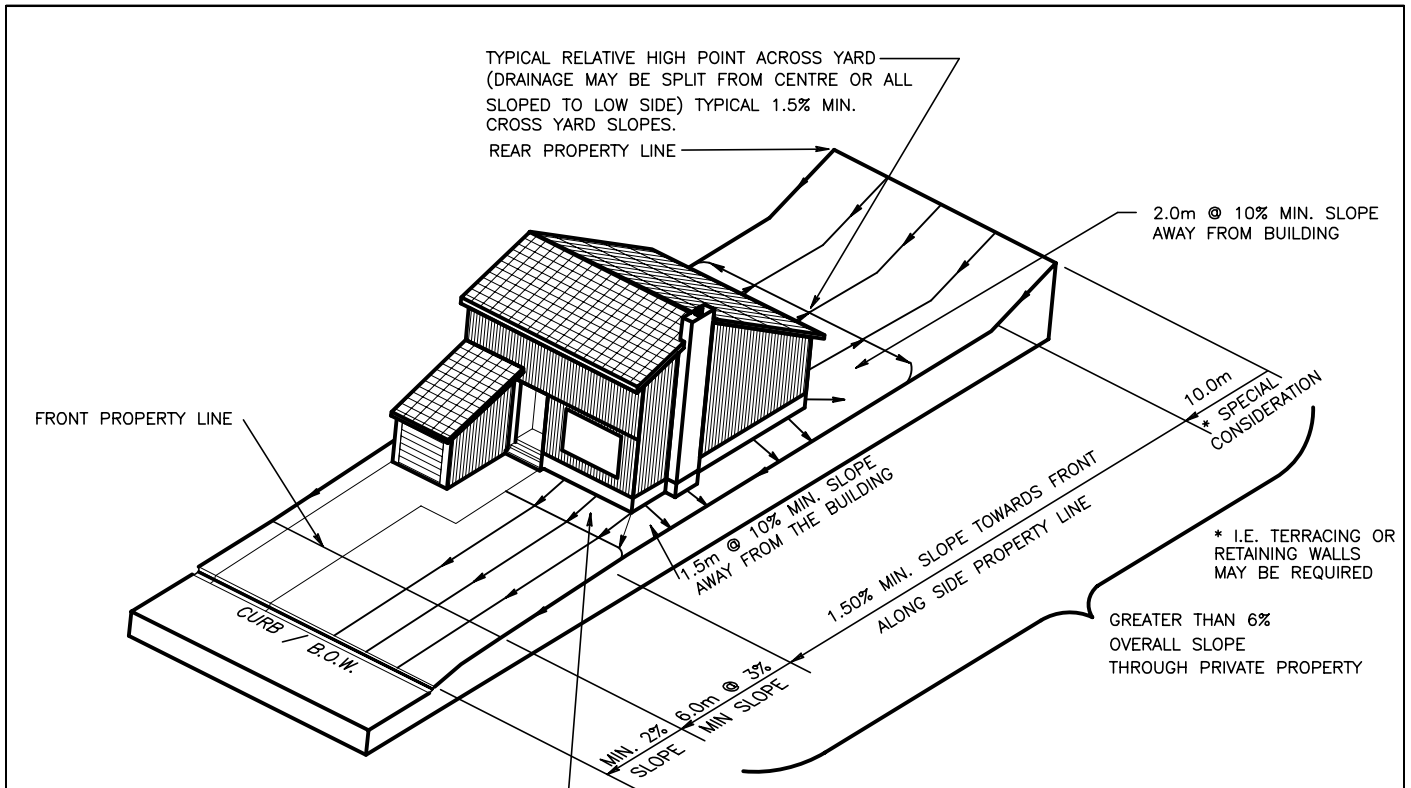
Engineering Department

**TYPICAL URBAN LOT DRAINAGE TYPE 'A' - REAR TO FRONT DRAINAGE LESS THAN 6% OVERALL LOT SLOPE**

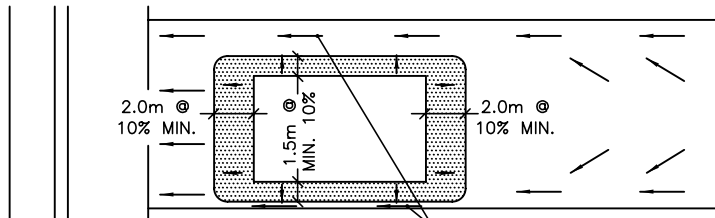
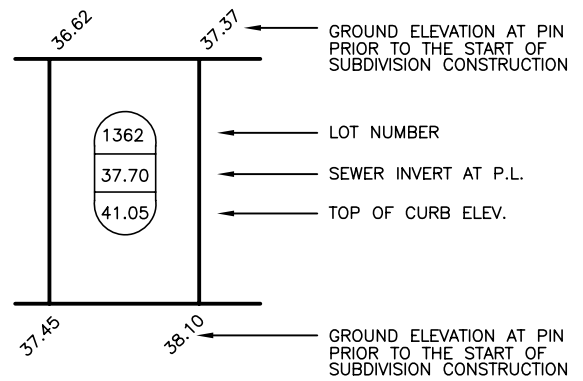
DATE: JANUARY 2007

STD DWG

D2.0



**ELEVATION**



**PLAN**

**BASEMENT GARAGE AND FRONT WALKOUT HOUSE TYPE**

FLows TO BE CARRIED AROUND HOUSE IN DEFINED SWALES LOCATED BESIDE LOT LINES

**NOTE:**

1. THE GRADING SHOWN ON THIS DETAIL IS PROVIDED AS A RECOMMENDATION ONLY, WITH THE EXCEPTION OF THE AREA IMMEDIATELY ADJACENT TO THE HOUSE WHICH IS GOVERNED BY THE NATIONAL BUILDING CODE
2. FINISH LANDSCAPE ELEVATION ADJACENT TO HOUSE TO MAINTAIN RECOMMENDED MINIMUM SLOPES.
3. ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE.
4. ALL ROOF LEADERS ARE TO BE DIRECTED TOWARDS THE FRONT OF THE LOT.



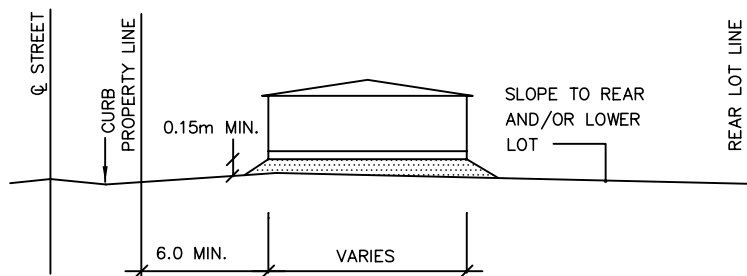
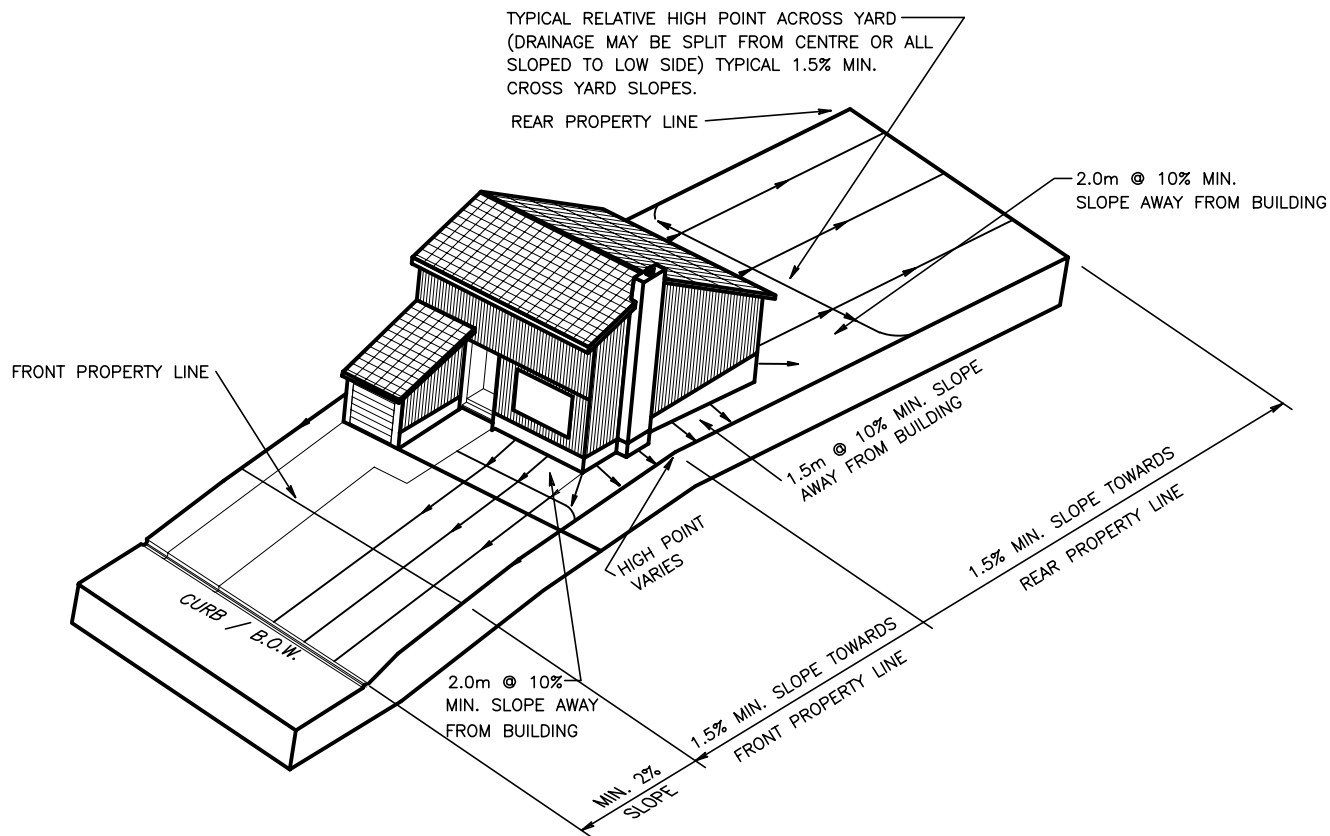
Engineering Department

**TYPICAL URBAN LOT DRAINAGE TYPE 'B' - REAR TO FRONT DRAINAGE GREATER THAN 6% OVERALL LOT SLOPE**

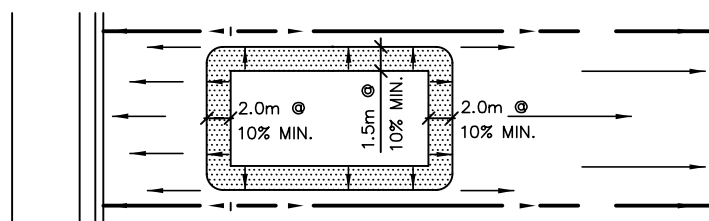
DATE: JANUARY 2007

STD DWG

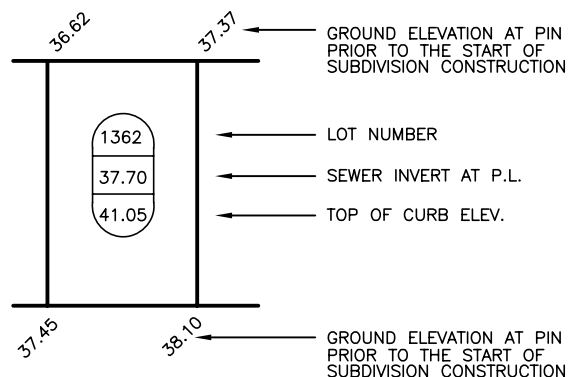
D2.1



**ELEVATION**



**PLAN  
CONVENTIONAL HOUSE TYPE**



**NOTE:**

1. THE GRADING SHOWN ON THIS DETAIL IS PROVIDED AS A RECOMMENDATION ONLY, WITH THE EXCEPTION OF THE AREA IMMEDIATELY ADJACENT TO THE HOUSE WHICH IS GOVERNED BY THE NATIONAL BUILDING CODE
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3. ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE.
4. ALL ROOF LEADERS ARE TO BE DIRECTED TOWARDS THE FRONT OF THE LOT.



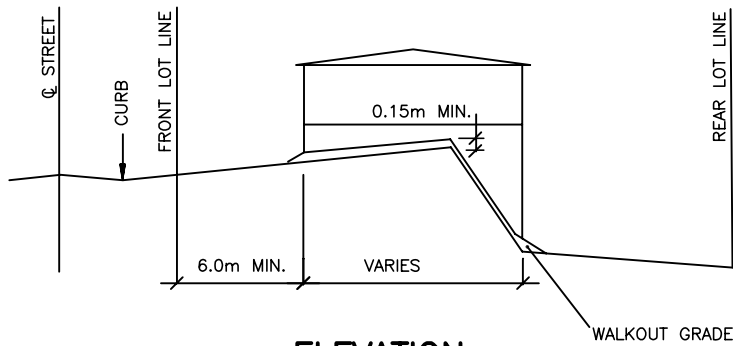
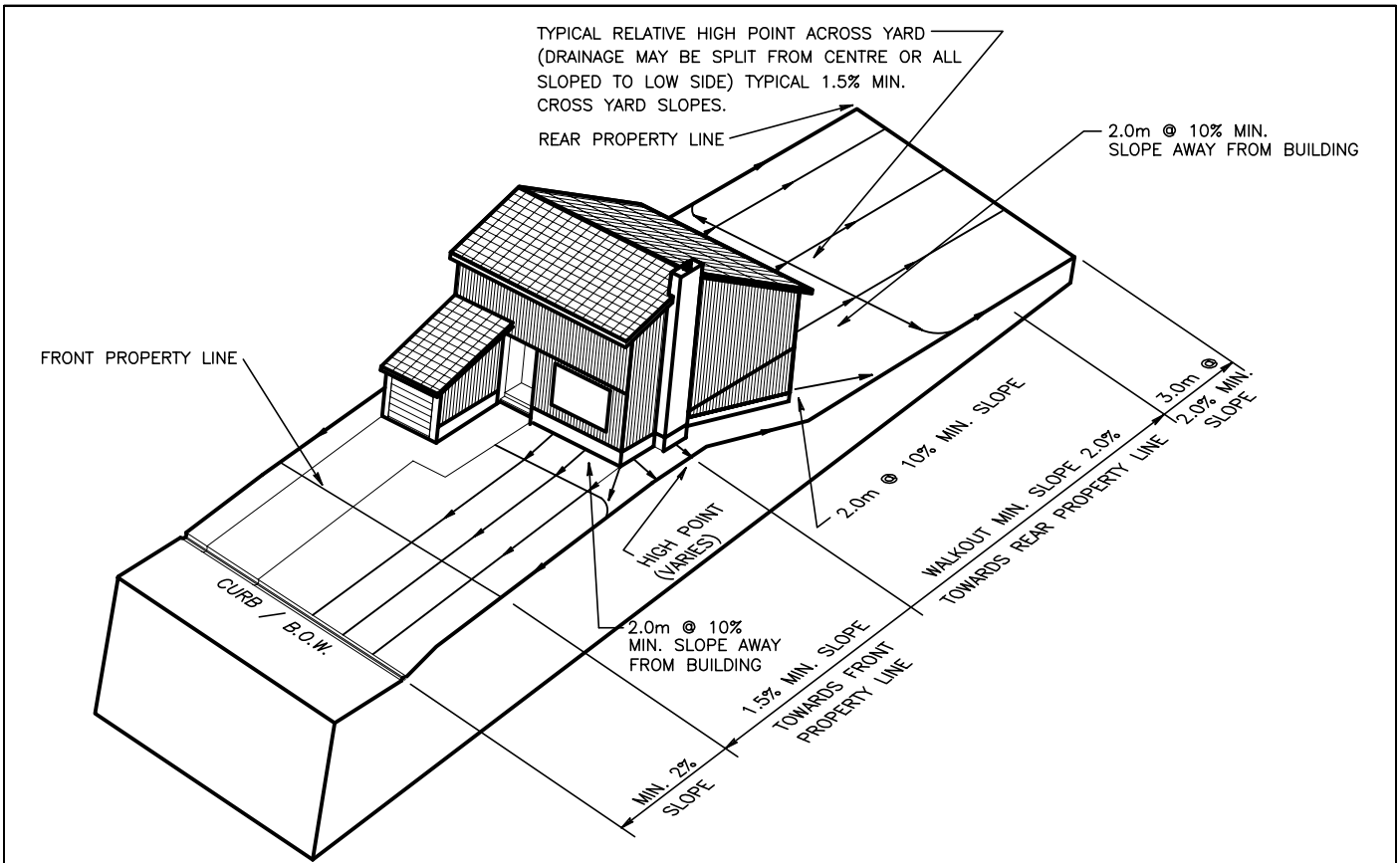
Engineering Department

**TYPICAL URBAN LOT DRAINAGE  
TYPE 'D' – STANDARD SPLIT DRAINAGE  
LESS THAN 6% OVERALL LOT SLOPE**

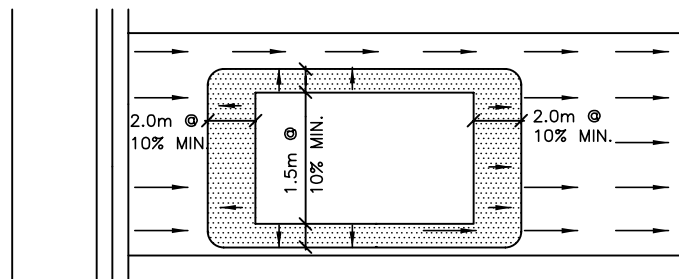
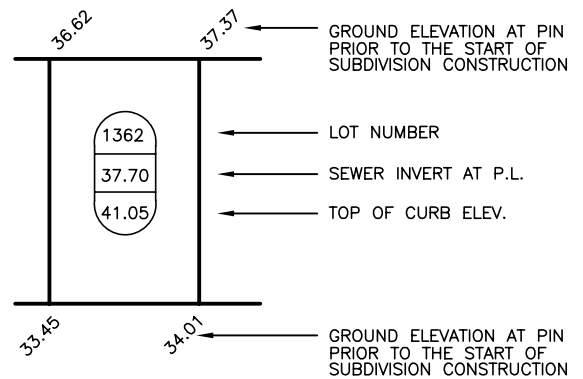
DATE: JANUARY 2007

STD DWG

D2.2



**ELEVATION**



**PLAN**

**WALKOUT BASEMENT OR BACKSPLIT HOUSE TYPE**

**NOTE:**

1. THE GRADING SHOWN ON THIS DETAIL IS PROVIDED AS A RECOMMENDATION ONLY, WITH THE EXCEPTION OF THE AREA IMMEDIATELY ADJACENT TO THE HOUSE WHICH IS GOVERNED BY THE NATIONAL BUILDING CODE
2. FINISH LANDSCAPE ELEVATION ADJACENT TO HOUSE TO MAINTAIN RECOMMENDED MINIMUM SLOPES.
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Engineering Department

**TYPE 'W' - STEEP SPLIT DRAINAGE  
TYPICAL URBAN LOT DRAINAGE  
GREATER THAN 6% OVERALL LOT SLOPE**

DATE: JANUARY 2007

STD DWG

D2.3