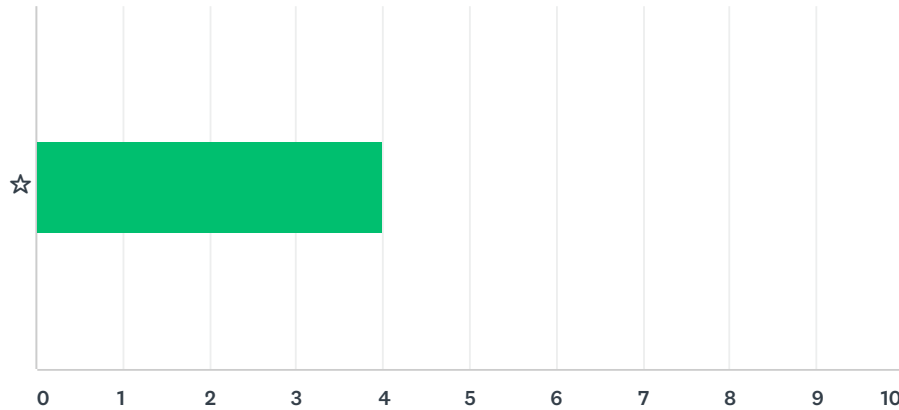


Q1 The draft vision for the Marwell Plan is: "Marwell will evolve as a unique mixed commercial and industrial employment area, integrating long-standing businesses with new development forms. Mixed-use redevelopment opportunities will be created through the relocation of heavier industry, the consolidation of land intensive activities and the remediation of contaminated sites. An enhanced Marwell riverfront will integrate trail connections, high-quality greenspace, and mixed employment/residential uses." On a scale of 1 star (not at all) to 5 stars (completely), how well does this vision reflect the future YOU want to see for Marwell?

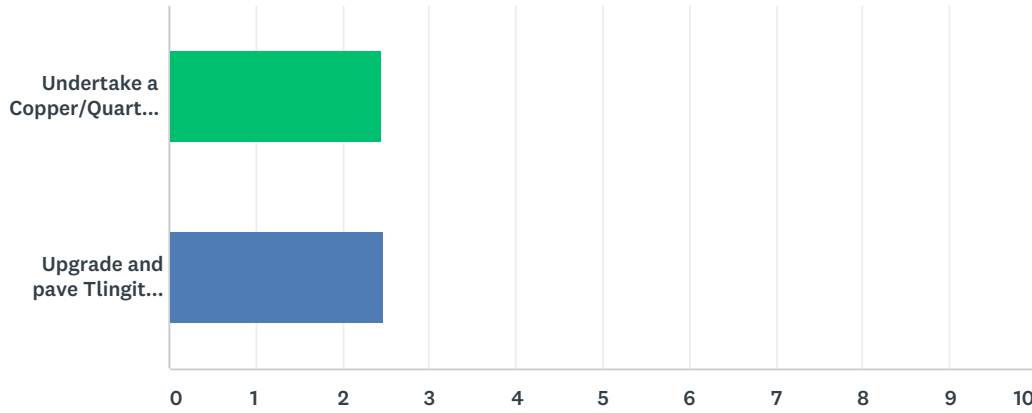
Answered: 75 Skipped: 2



	NOT ALL AT	(NO LABEL)	(NO LABEL)	(NO LABEL)	COMPLETELY	TOTAL	WEIGHTED AVERAGE
☆	5.33% 4	4.00% 3	9.33% 7	48.00% 36	33.33% 25	75	4.00

## Q2 Goal: Ensure the local road network has adequate capacity and functionality as Marwell and surrounding areas (e.g. Whistle Bend) continue to grow.

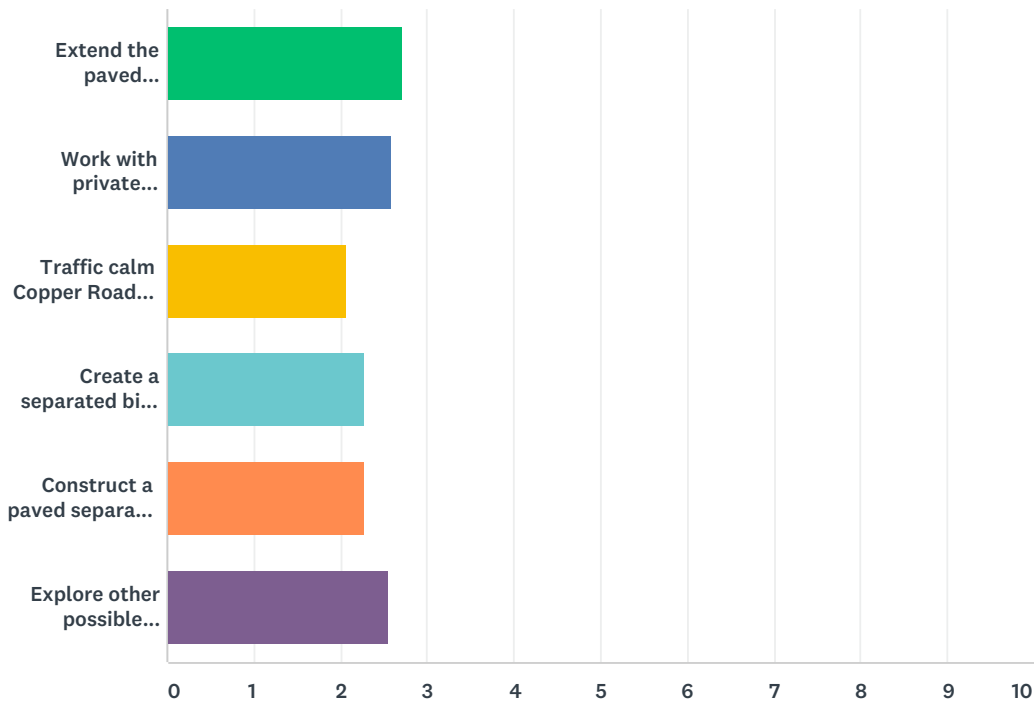
Answered: 63 Skipped: 14



	LOW PRIORITY	(NO LABEL)	TOP PRIORITY	TOTAL	WEIGHTED AVERAGE
Undertake a Copper/Quartz Road Corridor Study with focus on safer left turns and business access, better parking, and re-design for increasing traffic volumes.	11.11% 7	33.33% 21	55.56% 35	63	2.44
Upgrade and pave Tlingit Street to the same standard as Tungsten Road through the Titanium Way area to facilitate its use as a main east-west connector for pedestrians and cyclists.	11.11% 7	31.75% 20	57.14% 36	63	2.46

### Q3 Goal: Provide safe and connected cycling and pedestrian networks to, in, and around the Marwell area.

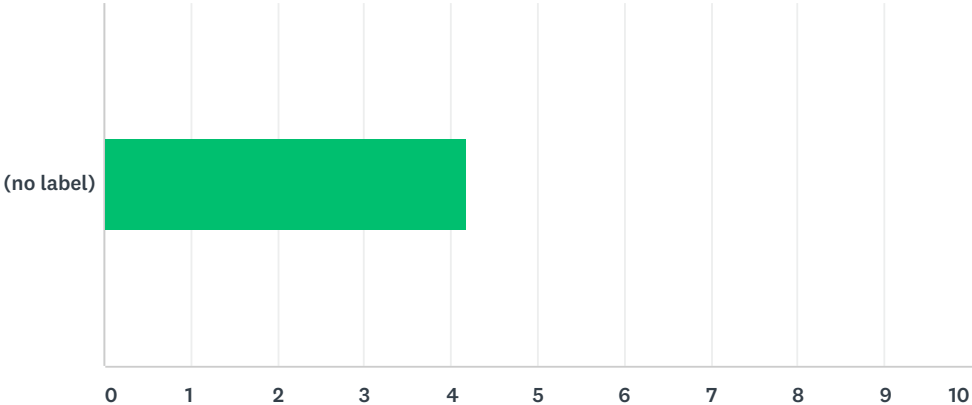
Answered: 65 Skipped: 12



	LOW PRIORITY	(NO LABEL)	TOP PRIORITY	TOTAL	WEIGHTED AVERAGE
Extend the paved riverfront trail from the north end of Downtown to the Titanium Way/Tungsten Road area with sufficient setbacks from the Yukon River.	4.69% 3	18.75% 12	76.56% 49	64	2.72
Work with private property owners to resolve issues around riverfront trail connectivity.	6.15% 4	27.69% 18	66.15% 43	65	2.60
Traffic calm Copper Road between Industrial Road and Tlingit Street to establish safe pedestrian/cyclist crossings.	26.56% 17	39.06% 25	34.38% 22	64	2.08
Create a separated bike lane along Copper/Quartz Roads between Mountainview Drive and 2nd Avenue.	20.97% 13	30.65% 19	48.39% 30	62	2.27
Construct a paved separated pedestrian-cyclist pathway along Tlingit Street/Tungsten Road between Mountainview Drive and the riverfront.	21.88% 14	28.13% 18	50.00% 32	64	2.28
Explore other possible cycling and pedestrian connections from Two Mile Hill Road to the waterfront path on Quartz Road (e.g. a connection running behind the Canadian Tire and Walmart buildings).	9.52% 6	25.40% 16	65.08% 41	63	2.56

### Q4 How much do you agree with the HOW WE MOVE goals listed above?

Answered: 61 Skipped: 16



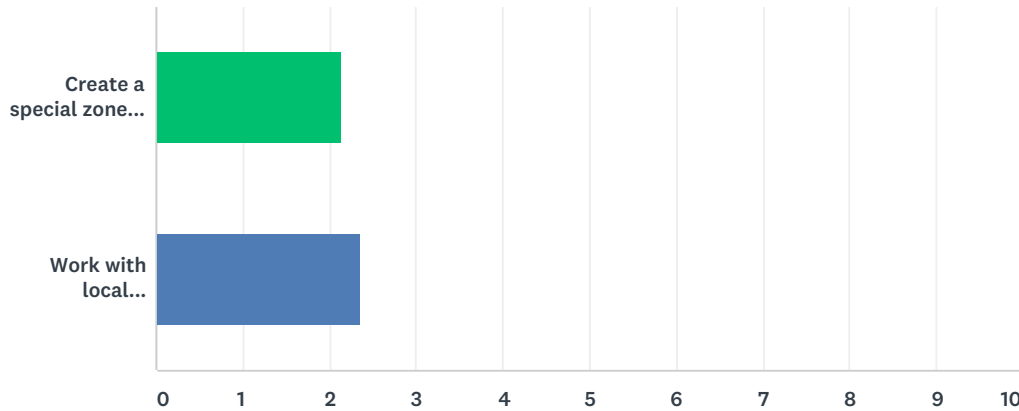
	DISAGREE	SOMEWHAT DISAGREE	NEUTRAL	SOMEWHAT AGREE	AGREE	TOTAL	WEIGHTED AVERAGE
(no label)	1.64% 1	3.28% 2	9.84% 6	45.90% 28	39.34% 24	61	4.18

**Q5 Are there any additional goals or actions you would like to see for  
HOW WE MOVE in Marwell?**

Answered: 19 Skipped: 58

## Q6 Goal: Protect and retain long-standing residential-only uses in Marwell and mitigate related conflicts with industrial uses.

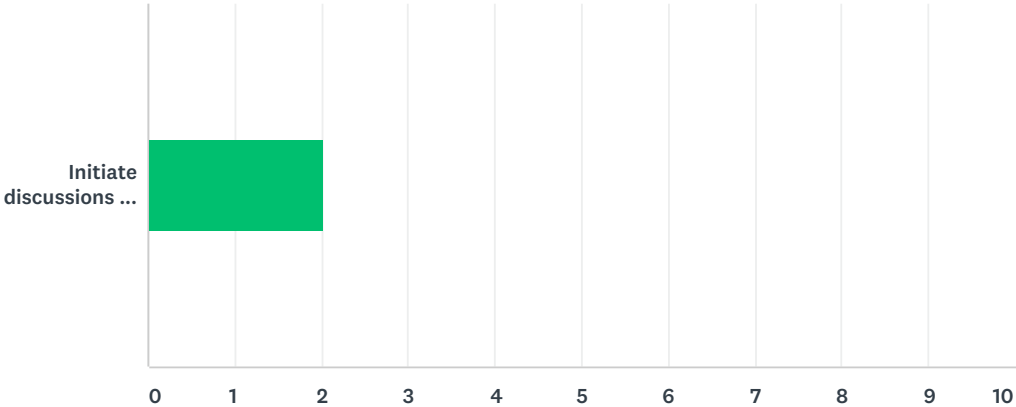
Answered: 61 Skipped: 16



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Create a special zone for existing residential-only properties in the Gold, Silver, and Gypsum Roads area to support residential and live-work oriented improvements to these residential uses.	24.59% 15	37.70% 23	37.70% 23	61	2.13
Work with local commercial and industrial businesses and residents to address safe and efficient shared use of public roadways in the Gold, Silver, Gypsum Roads area.	15.25% 9	32.20% 19	52.54% 31	59	2.37

**Q7 Goal: Explore the potential for relaxing the current caretaker suite limits to permit more than one caretaker suite per property within the Mixed Use Commercial/Industrial (CIMX) zone.**

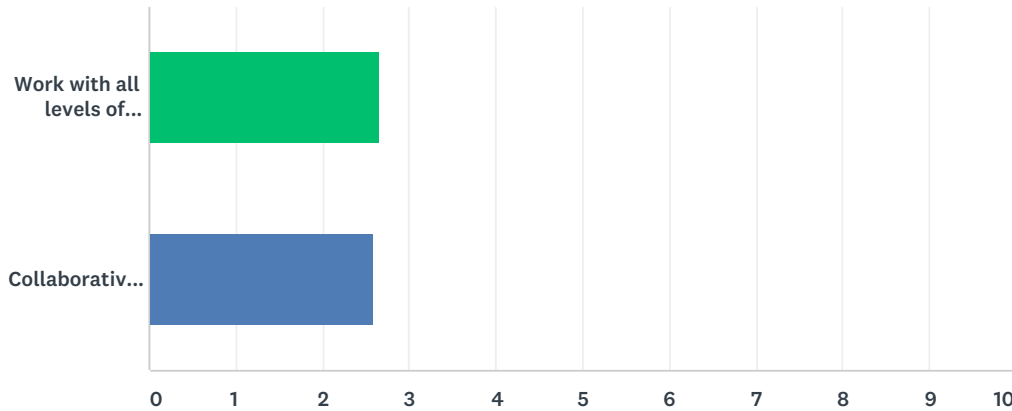
Answered: 62 Skipped: 15



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Initiate discussions on optimal caretaker suite regulations with the local business community and Marwell residents.	30.65% 19	37.10% 23	32.26% 20	62	2.02

## Q8 Goal: Develop a comprehensive brownfield (contaminated site) redevelopment strategy for the Marwell area.

Answered: 62 Skipped: 15

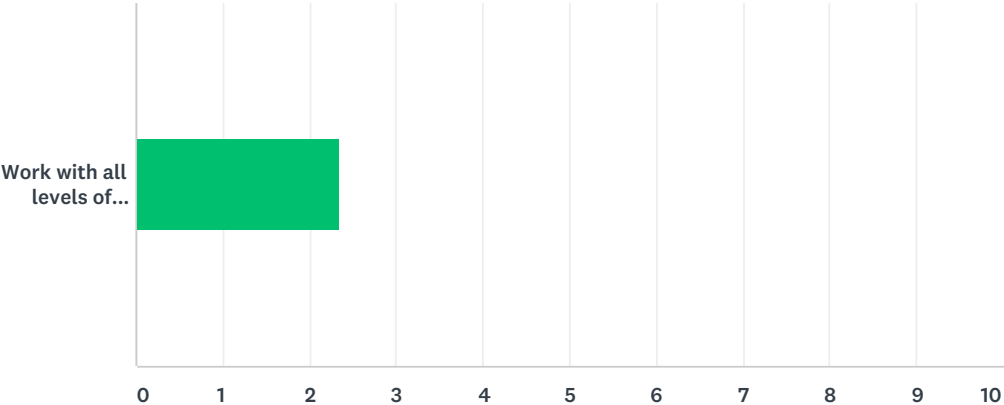


	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Work with all levels of government (First Nations, territorial) and private property owners to determine/refine the list of registered contaminated sites and other sites of potential concern.	3.23% 2	27.42% 17	69.35% 43	62	2.66
Collaboratively explore the potential for significant riverfront brownfield redevelopment.	4.92% 3	31.15% 19	63.93% 39	61	2.59



**Q9 Goal: Focus any significant new residential-mixed use development in areas within close proximity to Downtown and the riverfront.**

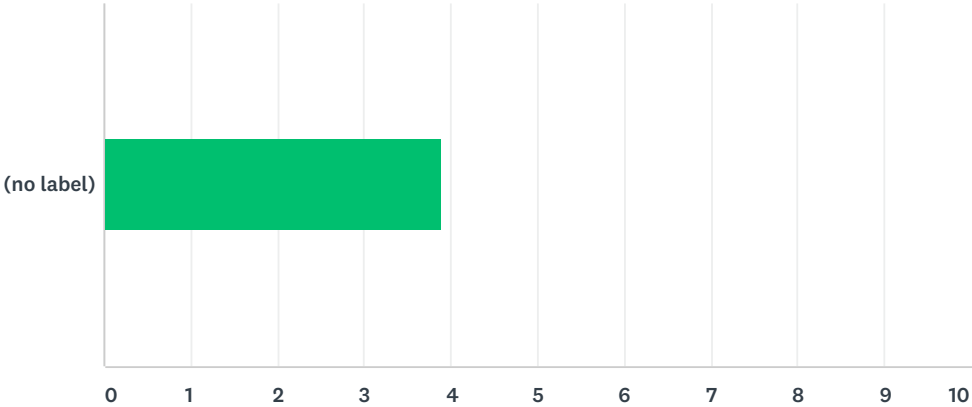
Answered: 62 Skipped: 15



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Work with all levels of government (First Nations, territorial) and private property owners to explore the potential for riverfront brownfield redevelopment (e.g. the grader station near Quartz and Industrial Roads).	16.13% 10	33.87% 21	50.00% 31	62	2.34

Q10 How much do you agree with the HOW WE LIVE goals listed above?

Answered: 62 Skipped: 15



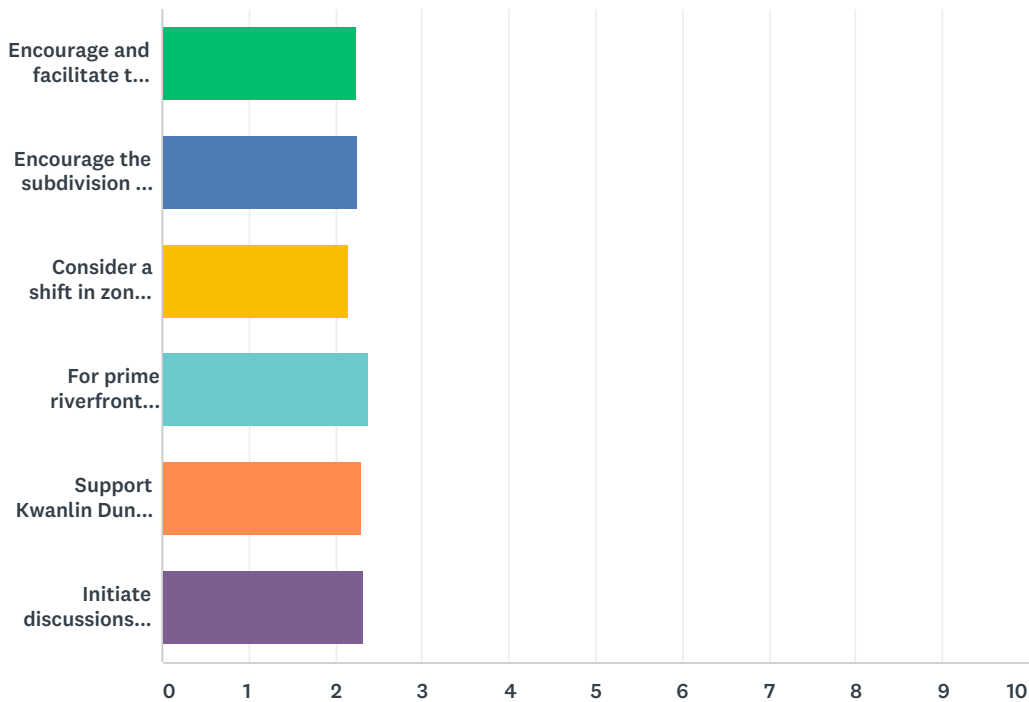
	DISAGREE	SOMEWHAT DISAGREE	NEUTRAL	SOMEWHAT AGREE	AGREE	TOTAL	WEIGHTED AVERAGE
(no label)	3.23% 2	6.45% 4	14.52% 9	50.00% 31	25.81% 16	62	3.89

**Q11 Are there any additional goals or actions you would like to see for  
HOW WE LIVE in Marwell?**

Answered: 12 Skipped: 65

## Q12 Goal: Facilitate the ongoing evolution of Marwell into a higher density commercial and employment area.

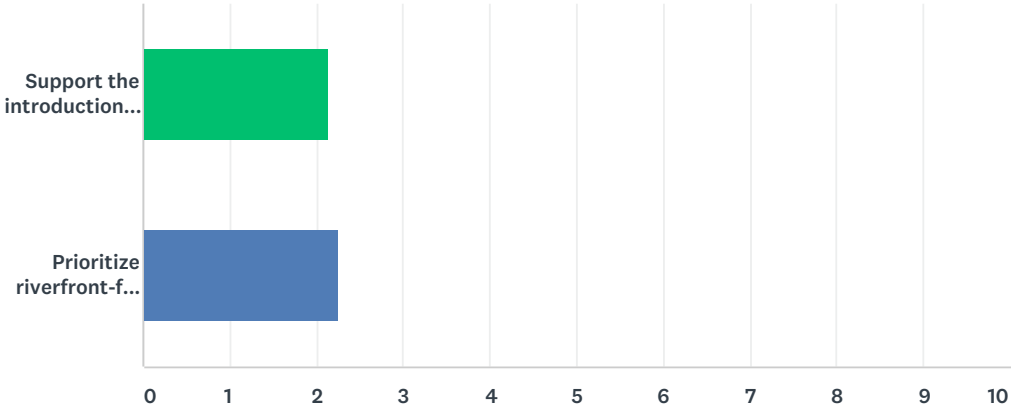
Answered: 66 Skipped: 11



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Encourage and facilitate the potential relocation of heavier industrial uses to other areas of the city.	28.57% 18	19.05% 12	52.38% 33	63	2.24
Encourage the subdivision of larger, underutilized properties by revisiting minimum lot size requirements and other bylaw/policy requirements.	16.92% 11	40.00% 26	43.08% 28	65	2.26
Consider a shift in zoning (e.g. to Commercial Service - CS) to support and promote more commercial uses in the area immediately northwest of Downtown and bordered by Quartz Road, Industrial Road, and Two Mile Hill.	14.52% 9	54.84% 34	30.65% 19	62	2.16
For prime riverfront brownfield redevelopment sites, integrate employment and commercial amenity uses within future residential development.	14.06% 9	34.38% 22	51.56% 33	64	2.38
Support Kwanlin Dun First Nation's desire to explore mixed commercial/industrial development for the portion of Lot 226 bordering on Tlingit Street, with the recent development at Titanium Way serving as a potential model.	15.63% 10	37.50% 24	46.88% 30	64	2.31
Initiate discussions with the Government of Yukon on the potential to consolidate and/or relocate current land intensive facilities in the Quartz Road area to other locations outside of Marwell.	17.46% 11	33.33% 21	49.21% 31	63	2.32

### Q13 Goal: Promote the integration of additional food and beverage commercial uses within Marwell to support the needs of daytime employees and residents.

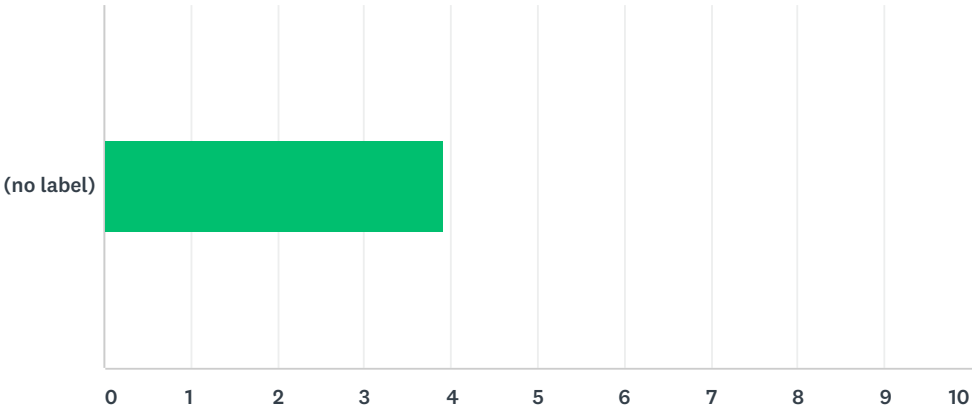
Answered: 65 Skipped: 12



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Support the introduction of mobile food vendors in the Marwell area as a means of actively exploring further potential for food and beverage oriented commercial uses.	20.00% 13	46.15% 30	33.85% 22	65	2.14
Prioritize riverfront-facing food and beverage uses in future mixed-use riverfront development.	20.00% 13	33.85% 22	46.15% 30	65	2.26

# Q14 How much do you agree with the HOW WE WORK AND SHOP goals listed above?

Answered: 62 Skipped: 15



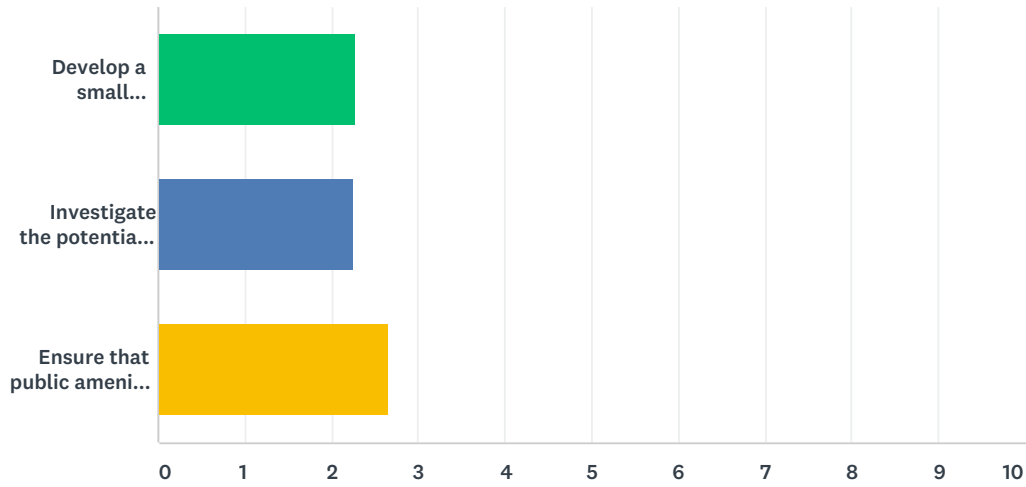
	DISAGREE	SOMEWHAT DISAGREE	NEUTRAL	SOMEWHAT AGREE	AGREE	TOTAL	WEIGHTED AVERAGE
(no label)	3.23% 2	4.84% 3	16.13% 10	48.39% 30	27.42% 17	62	3.92

**Q15 Are there any additional goals or actions you would like to see for  
HOW WE WORK AND SHOP around Marwell?**

Answered: 14 Skipped: 63

## Q16 Goal: Create public amenity spaces for Marwell residents and employees to enjoy.

Answered: 63 Skipped: 14

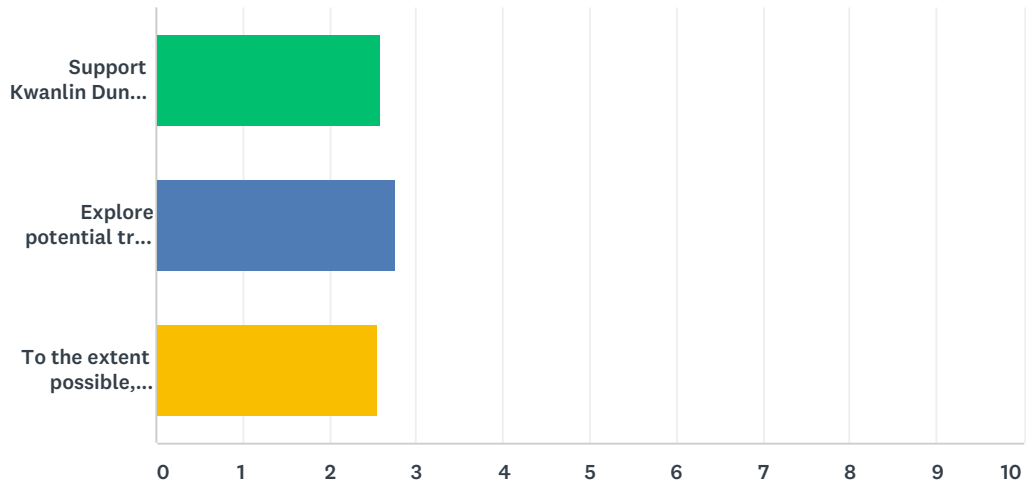


	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Develop a small riverfront park in the vicinity of Titanium Way/Tungsten Road area.	22.58% 14	25.81% 16	51.61% 32	62	2.29
Investigate the potential for a working boat launch/wharf in close proximity to the above noted riverfront park.	16.13% 10	41.94% 26	41.94% 26	62	2.26
Ensure that public amenity space is incorporated into any future mixed-use development along the riverfront.	4.76% 3	25.40% 16	69.84% 44	63	2.65



## Q17 Goal: Formalize and improve trails and trail connections.

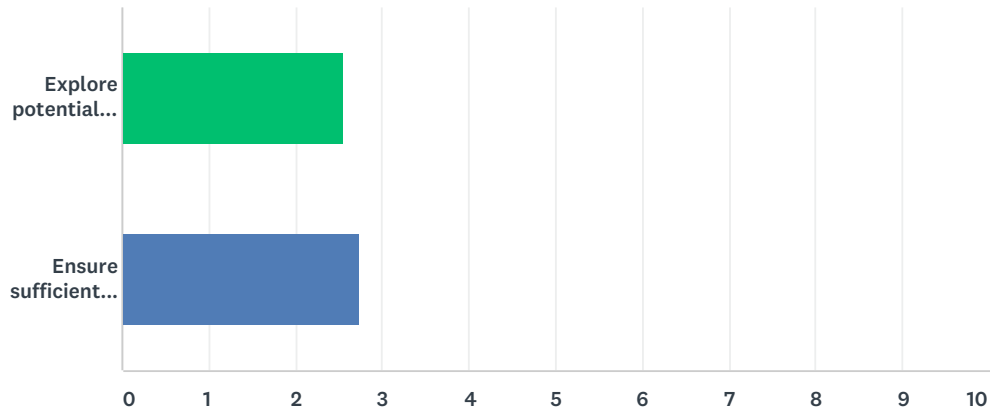
Answered: 64 Skipped: 13



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Support Kwanlin Dun First Nation with their vision to enhance, protect and interpret the Marwell wetlands area and its connections to the riverfront.	10.94% 7	18.75% 12	70.31% 45	64	2.59
Explore potential trail connections to the Takhini escarpment, Whistle Bend, and along the green space west of Copper Road.	1.56% 1	20.31% 13	78.13% 50	64	2.77
To the extent possible, facilitate the development of trail-based loop routes in and around Marwell.	4.69% 3	34.38% 22	60.94% 39	64	2.56

### Q18 Goal: Retain and/or improve views of, and public access to, the river.

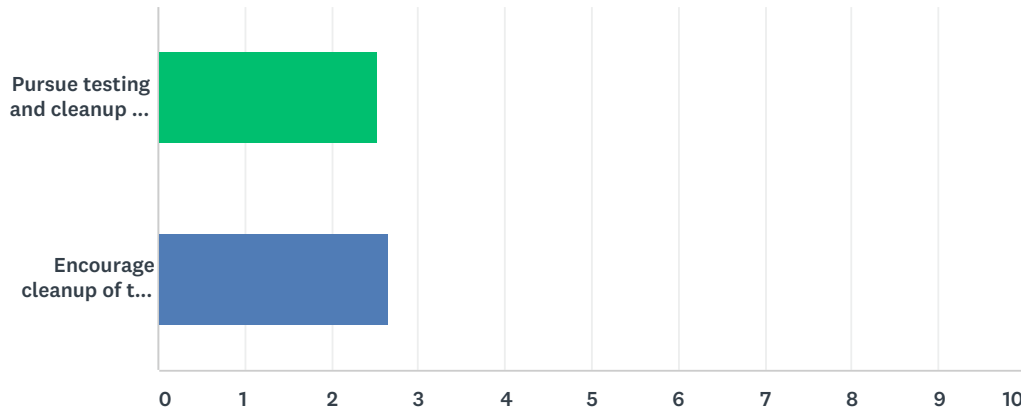
Answered: 64 Skipped: 13



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Explore potential mechanisms for encouraging commercial uses along the riverfront that promote high-quality public realm and place making.	9.38% 6	26.56% 17	64.06% 41	64	2.55
Ensure sufficient public access is incorporated into future riverfront development/redevelopment.	3.17% 2	19.05% 12	77.78% 49	63	2.75

## Q19 Goal: Promote environmental health and reclamation of contaminated sites.

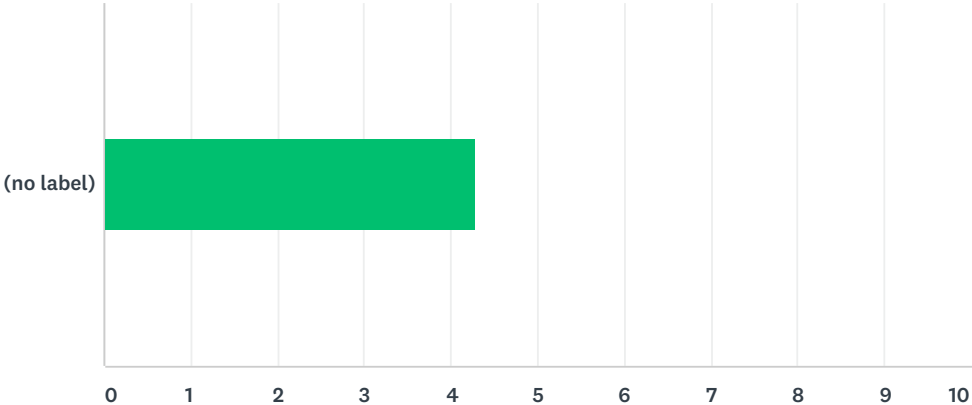
Answered: 62 Skipped: 15



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Pursue testing and cleanup of Marwell Creek and minimize development and operational impacts.	8.06% 5	30.65% 19	61.29% 38	62	2.53
Encourage cleanup of the Marwell Tar-Pit to help protect the environment from contaminants and encourage eventual redevelopment.	6.45% 4	20.97% 13	72.58% 45	62	2.66

# Q20 How much do you agree with the HOW WE PLAY AND THRIVE goals listed above?

Answered: 61 Skipped: 16



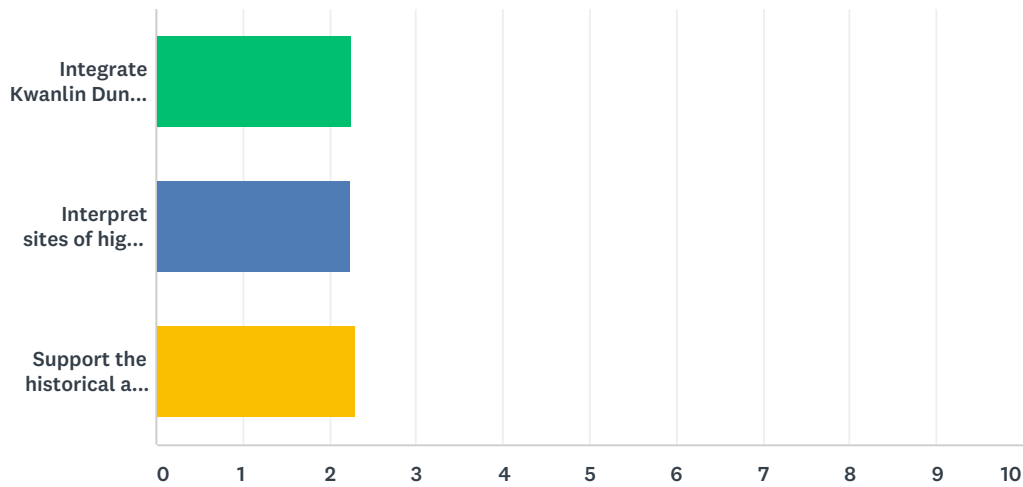
	DISAGREE	SOMEWHAT DISAGREE	NEUTRAL	SOMEWHAT AGREE	AGREE	TOTAL	WEIGHTED AVERAGE
(no label)	1.64% 1	3.28% 2	8.20% 5	39.34% 24	47.54% 29	61	4.28

**Q21 Are there any additional goals or actions you would like to see for  
HOW WE PLAY AND THRIVE in Marwell?**

Answered: 19 Skipped: 58

## Q22 Goal: Find ways to honour First Nation heritage and World War II history.

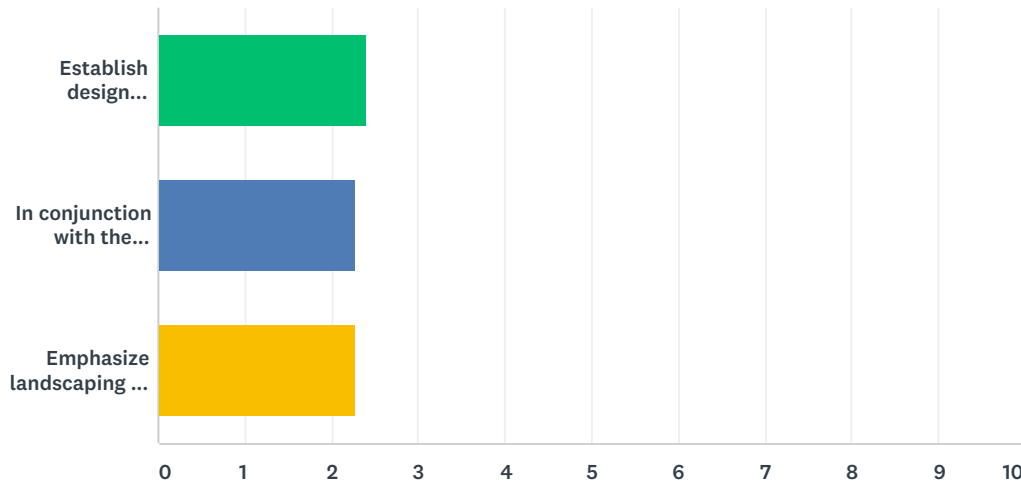
Answered: 62 Skipped: 15



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Integrate Kwanlin Dun First Nation (KDFN) and Ta'an Kwach'an Council (TKC) place names and language into future street names, public amenities, and wayfinding systems	26.23% 16	22.95% 14	50.82% 31	61	2.25
Interpret sites of high heritage and/or historic value.	26.23% 16	24.59% 15	49.18% 30	61	2.23
Support the historical and cultural work being undertaken by local First Nations (e.g. KDFN Whitehorse Waterfront Heritage project) through increased collaboration and partnerships.	24.19% 15	20.97% 13	54.84% 34	62	2.31

## Q23 Goal: Balance the preservation and enhancement of Marwell’s unique and authentic character with public realm improvements and beautification.

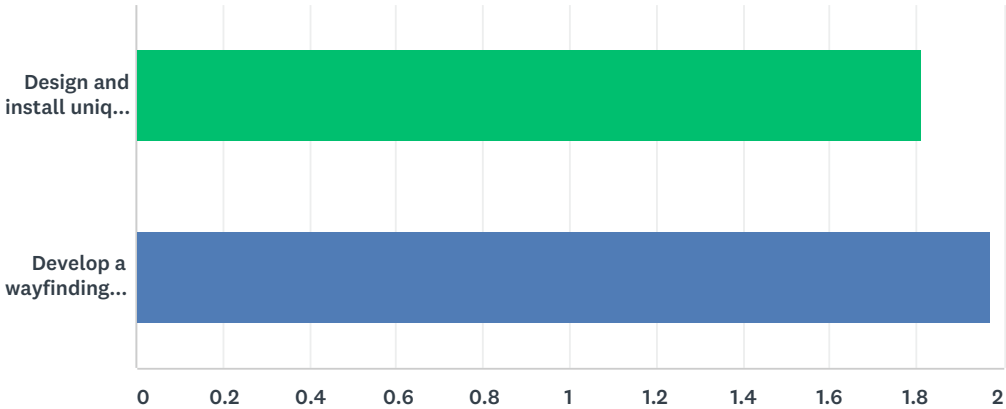
Answered: 62 Skipped: 15



	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Establish design guidelines – including a variety of preferred materials - for major brownfield redevelopment along the riverfront, and promote building innovations that protect/enhance waterbodies and water quality.	15.25% 9	28.81% 17	55.93% 33	59	2.41
In conjunction with the proposed Copper/Quartz Road Corridor Study, explore corridor beautification options.	16.39% 10	39.34% 24	44.26% 27	61	2.28
Emphasize landscaping and other site edge treatments (e.g. lighting, benches, etc.) in the Tlingit Street upgrade and paved pathway initiatives.	19.35% 12	32.26% 20	48.39% 30	62	2.29

### Q24 Goal: Promote better recognition of the “Marwell” name and facilitate improved navigation around the area.

Answered: 63 Skipped: 14

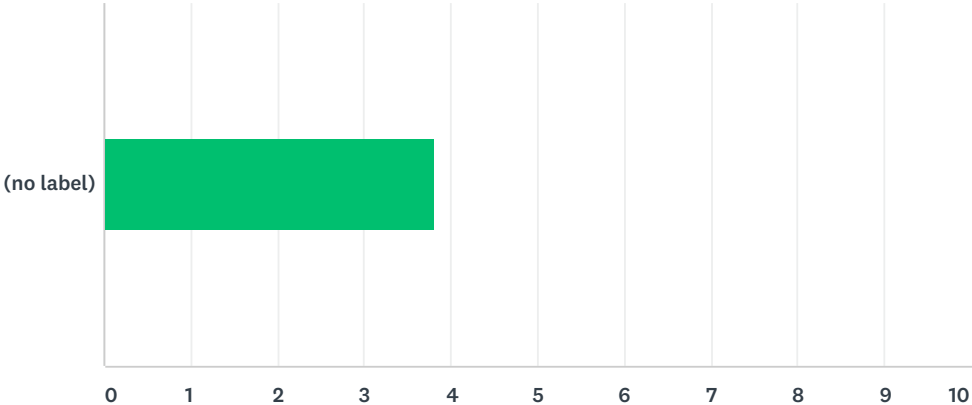


	LOW PRIORITY	(NO LABEL)	HIGH PRIORITY	TOTAL	WEIGHTED AVERAGE
Design and install unique gateway features from the major entrances to Marwell (Quartz Road, Mountainview Drive, Industrial Road).	43.55% 27	32.26% 20	24.19% 15	62	1.81
Develop a wayfinding scheme for improved navigation that highlight key areas, landmarks and/or interpretive features, historic uses, etc.	36.51% 23	30.16% 19	33.33% 21	63	1.97



### Q25 How much do you agree with the HOW WE EXPRESS OUR IDENTITY goals listed above?

Answered: 62 Skipped: 15



	DISAGREE	SOMEWHAT DISAGREE	NEUTRAL	SOMEWHAT AGREE	AGREE	TOTAL	WEIGHTED AVERAGE
(no label)	3.23% 2	9.68% 6	25.81% 16	25.81% 16	35.48% 22	62	3.81

**Q26 Are there any additional goals or actions you would like to see for  
HOW WE EXPRESS OUR IDENTITY in Marwell?**

Answered: 12 Skipped: 65

**Q27 Do you have any further comments or questions about the draft vision, goals, and actions for the Marwell industrial area?**

Answered: 15 Skipped: 62